

# Township of Ocean



50 RAILROAD AVENUE  
WARETOWN, NJ 08758

PHONE: (609) 693-3487  
FAX: (609) 693-0478

## Memo of Review for Accuracy and Completion

The attached FEMA Elevation Certification has been reviewed by this office. The items noted below are not correct on the attached form and should read as entered on this page.

### SECTION A - PROPERTY INFORMATION

1. Building Owner's Name: Katsoris
  2. Building Street Address: 10 Cable Rd.  
City: Waretown State NJ Zip code 08758
  3. Property Description: Block and Lot Tax Parcel# or legal description: Block 89 Lot 15 Township of Ocean
  4. Building Use (Residential, Non-Residential, Addition, Accessory, etc.): \_\_\_\_\_
  5. Latitude/Longitude: Lat. \_\_\_\_\_ Long. \_\_\_\_\_ Horizontal Datum: NAD 1927  1983
  6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.
  7. Building Diagram# \_\_\_\_\_
  8. For a building with a crawlspace or enclosure:
    - a. Square footage of crawlspace or enclosure \_\_\_\_\_ sq.ft
    - b. # of permanent flood openings in the crawlspace or enclosure(s) within 1.0 ft above adjacent grade \_\_\_\_\_
    - c. Total net area of flood openings in AS.b \_\_\_\_\_ sq.in.
    - d. Engineered Flood Openings? YES \_\_\_ No \_\_\_
- For a building with an attached garage:
- a. Square foot of attached garage \_\_\_\_\_ sq.ft
  - b. # of permanent flood openings in the crawlspace or enclosure(s) within 1.0 ft above adjacent grade \_\_\_\_\_
  - c. Total net area of flood openings in AS.b \_\_\_\_\_ sq.in.
  - d. Engineered Flood Openings? YES \_\_\_ No \_\_\_

FOR INSURANCE CO USE
Policy#
Co. NAIC#

### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

1. NFIP COMMUNITY NAME & COMMUNITY # \_\_\_\_\_
2. COUNTY NAME: \_\_\_\_\_
3. STATE: \_\_\_\_\_
4. Map/Panel# \_\_\_\_\_
5. Suffix \_\_\_\_\_
6. Firm Index Date 9/29/06
7. FIRM Panel Effective/Revised Date \_\_\_\_\_
8. Flood Zone(s) \_\_\_\_\_
9. BFE - Base Flood Elevation(s) (Zone AO, use base flood depth) \_\_\_\_\_
10. Check the source of the Base Flood Foundation (BFE) data or base flood depth entered in item #9:  
FIS Profile \_\_\_ FIRM \_\_\_ Community Determined \_\_\_ Other/Source \_\_\_\_\_
11. Check elevation datum used for BFE in item#9: NGVD 1929 \_\_\_ NAVD 1988  Other/Source \_\_\_\_\_
12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area OPA:  
Yes \_\_\_ No  Designation date \_\_\_/\_\_\_/\_\_\_ CBRS \_\_\_ OPA \_\_\_

### SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

1. Building elevations are based on (check one):  
\_\_\_\_ Construction Drawings\* \_\_\_\_ Building Under Construction\* \_\_\_\_ Finished Constructions  
\* A new Elevation Certificate will be required when construction of the building is complete.

Local Officials Name: Louis F Fischer Title: Construction Official / CFM  
Community Name: Township of Ocean Telephone # 609-693-3478  
Signature: Louis F Fischer Date: \_\_\_\_\_  
Comments: Corrected B11 + B12

# ELEVATION CERTIFICATE

IMPORTANT: Follow the instructions on pages 1-9.

OMB No. 1660-0008  
Expiration Date: July 31, 2015

U.S. DEPARTMENT OF HOMELAND SECURITY  
FEDERAL EMERGENCY MANAGEMENT AGENCY  
National Flood Insurance Program

## SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE  
Policy Number:  
Company NAIC Number:

A1. Building Owner's Name GEORGE KATSORIS  
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
10 CABLE ROAD  
City WARETOWN NJ State 08758 ZIP Code  
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
LOT 15, BLOCK 89 - OCEAN TWP. TAX MAPS  
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL  
A5. Latitude/Longitude: Lat. \_\_\_\_\_ Long. \_\_\_\_\_ Horizontal Datum:  NAD 1927  NAD 1983  
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.  
A7. Building Diagram Number 6

A8. For a building with a crawlspace or enclosure(s):  
a) Square footage of crawlspace or enclosure(s) \_\_\_\_\_ sq ft  
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade \_\_\_\_\_  
c) Total net area of flood openings in A8.b \_\_\_\_\_ sq in  
d) Engineered flood openings?  Yes  No  
A9. For a building with an attached garage:  
a) Square footage of attached garage 295 sq ft  
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 2  
c) Total net area of flood openings in A9.a 400 sq in  
d) Engineered flood openings?  Yes  No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number OCEAN TWP. 340518  
B2. County Name OCEAN B3. State NJ  
B4. Map/Panel Number 34027C0416 B5. Suffix F  
B6. FIRM Index Date 9/29/06 B7. FIRM Panel Effective/Revised Date 9-29-2006  
B8. Flood Zone(s) AE B9. Base Flood Elevation(s) (Zone AO, use base flood depth) G

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:  
 FIS Profile  FIRM  Community Determined  Other/Source: \_\_\_\_\_  
B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_  
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
Designation Date: \_\_\_\_/\_\_\_\_/\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.  
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: PRIVATE Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below:  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_  
Datum used for building elevations must be the same as that used for the BFE.  
Check the measurement used:  
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 5.1  feet  meters  
b) Top of the next higher floor 10.1  feet  meters  
c) Bottom of the lowest horizontal structural member (V Zones only) \_\_\_\_\_  feet  meters  
d) Attached garage (top of slab) 5.1  feet  meters  
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 9.9  feet  meters  
f) Lowest adjacent (finished) grade next to building (LAG) 4.1  feet  meters  
g) Highest adjacent (finished) grade next to building (HAG) 4.9  feet  meters  
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 4.9  feet  meters

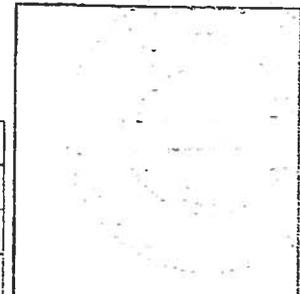
received  
9-19-14

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  
 Check here if attachments.

Certifier's Name DONALD P. SWEENEY License Number 35886  
Title PROFESSIONAL LAND SURVEYOR Company Name LOUIS LEHMAN, P.A.  
Address 1901 N. OLDEN AVENUE 12-A City TRENTON State NJ ZIP Code 08618  
Signature [Signature] Date 10-31-13 Telephone 609 883 2444



**ELEVATION CERTIFICATE, page 2**

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>10 CABLE ROAD</b>			Policy Number:	
City <b>WARETOWN</b>	State <b>NJ</b>	ZIP Code <b>08758</b>	Company NAIC Number:	

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments **HVAC EXCHANGE ON PLATFORM IN GARAGE  
BK. 460. PG. 9**

ELEVATION FOR C2.2) IS GARAGE FLOOR ONLY.  
Signature *[Signature]* Date **8-12-13**

2" SMART VENT  
MODE 1540-570  
INSTALLED IN  
GARAGE

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name \_\_\_\_\_

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	

Comments \_\_\_\_\_

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, and E of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ . \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ . \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_ . \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____

Comments \_\_\_\_\_

Check here if attachments.

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 10 CABLE ROAD			Policy Number:	
City WARETOWN	State NJ	ZIP Code 08758	Company NAIC Number:	

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

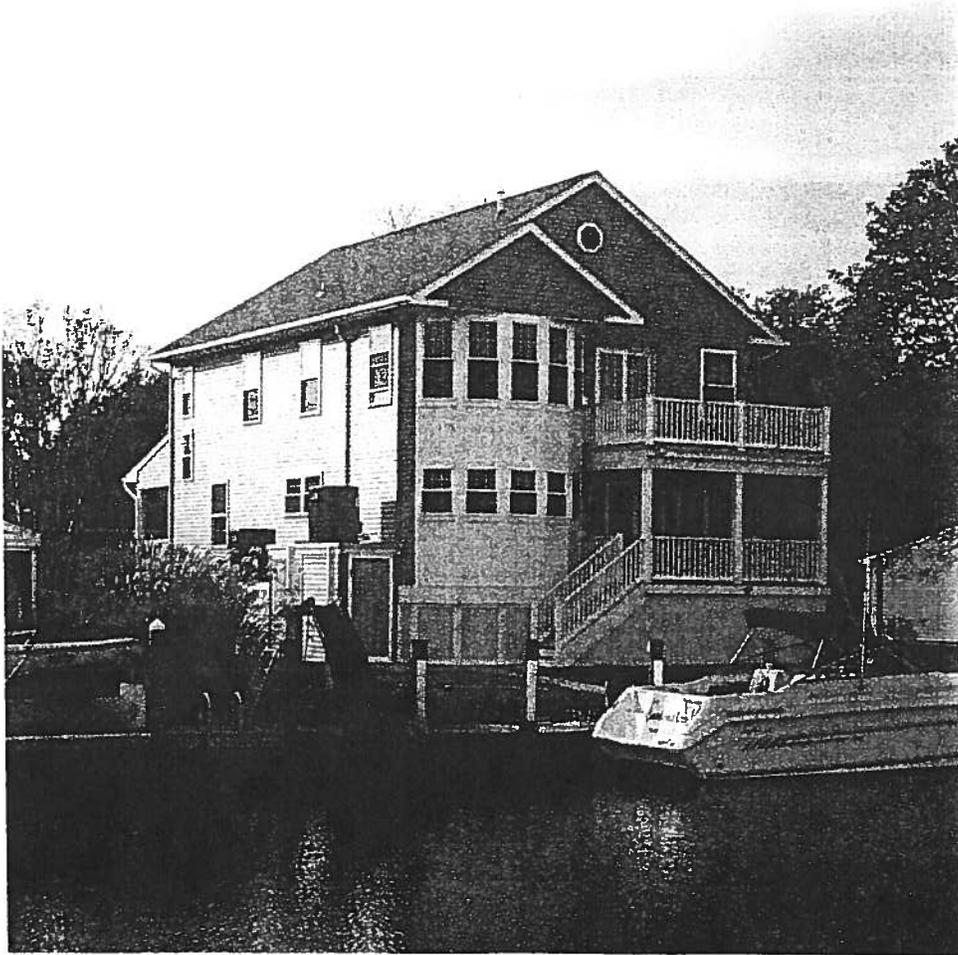


FRONT LEFT VIEW

**BUILDING PHOTOGRAPHS**  
See Instructions for Item A6.

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 10 CABLE ROAD			Policy Number:	
City WARETOWN	State NJ	ZIP Code 08758	Company NAIC Number:	

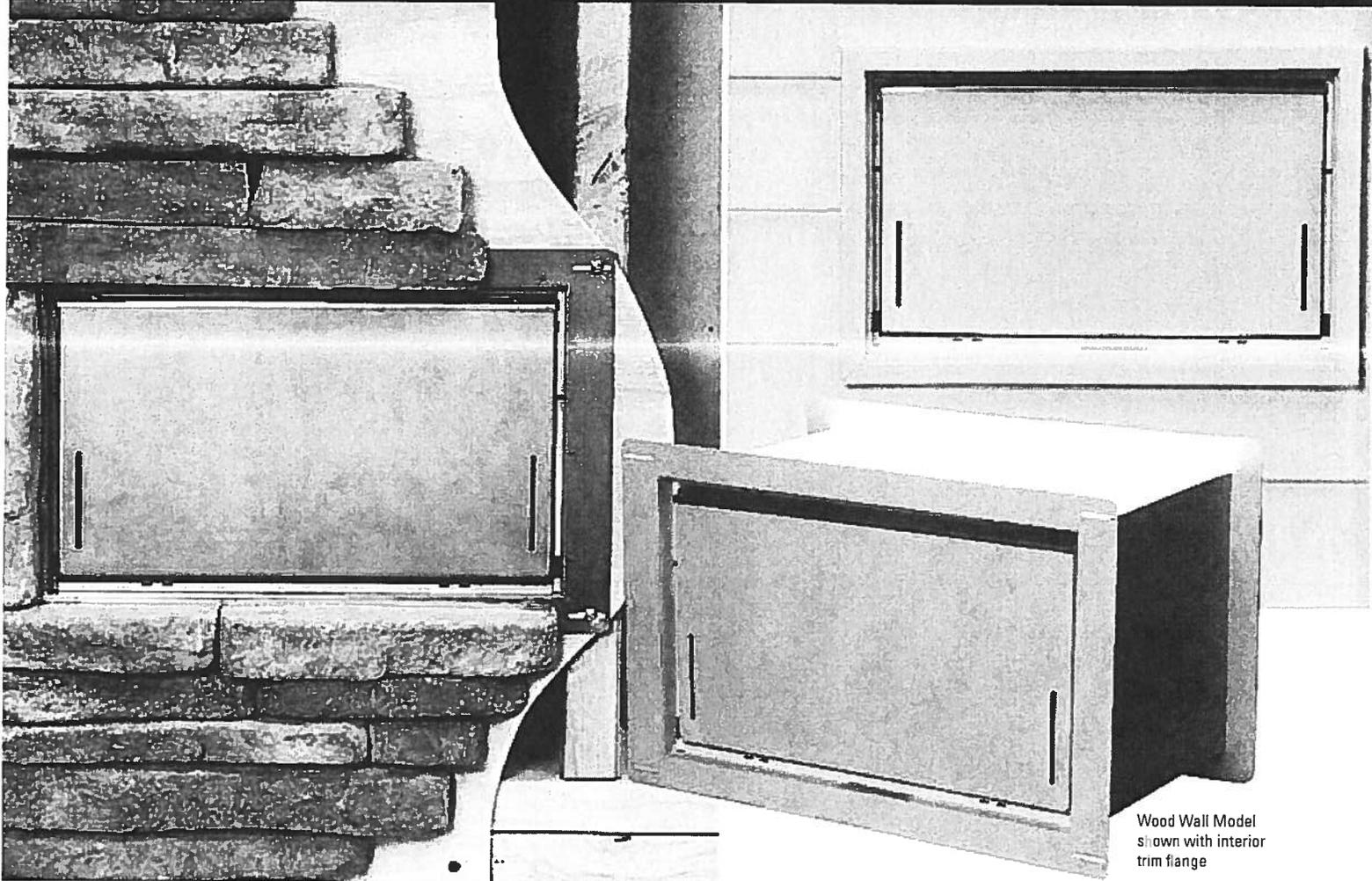
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



RIGHT REAR VIEW



**Insulated FLOOD VENT - Wood Wall Model: 1540-570**



Wood Wall Model  
shown with interior  
trim flange

## **High Efficiency Insulated Flood Vent** Superior Automatic Flood Protection Designed for Installation Between Studs



### **ICC-ES Evaluated and FEMA Accepted Foundation Flood Vents**

- Potential savings on homeowner's NFIP premiums
- Preserves aesthetic beauty of a home by requiring 2/3 less vents
- Each vent certified to protect 200 sq. ft. of your home
- Code Compliant, FEMA accepted, ICC-ES Evaluated
- All Stainless Steel construction meets or exceeds flood and corrosion resistance code requirements
- Patented automatic floats release bi-directional flood door

### **One 14 1/2" x 8 1/2" vent is certified to cover 200 square feet of enclosed area for flood protection**

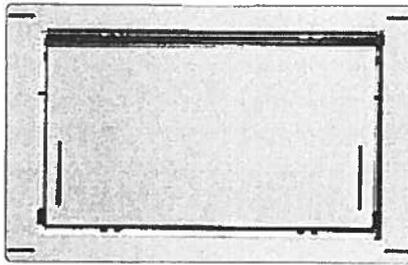
The Wood Wall Flood Vent is designed to fit between studs spaced on 16" centers. One vent covers 200 square feet of enclosed area, and it is an easy retrofit. This vent only comes in an insulated model.



# **SMART VENT**

[www.smartvent.com](http://www.smartvent.com) • 877-441-8368

# Insulated FLOOD VENT - Wood Wall Model: 1540-570



**Model #:** 1540-570

**Installation Type:** Stud Wall

**Style:** Insulated

**Dimensions:** 14½" x 8½"

**Rough Opening:** 14½" x 8¾"

**Finish:** Stainless Steel (Standard)

### Available Powder Coat Colors For Special Order:



White



Wheat



Gray



Black



Stainless (standard)

### Optional Accessories:

Fire Damper, Interior Trim Flange

**Other Models Available:** SMART VENT® Dual Function Ventilation 16" x 8" Flood Vent, Insulated 16" x 8" FLOOD VENT, Overhead Garage Door Model, Stacked and Quad Configurations, Models for Wood Studded Wall Applications and Pour in Place Buck Systems.

### There's more online at [www.smartvent.com](http://www.smartvent.com)

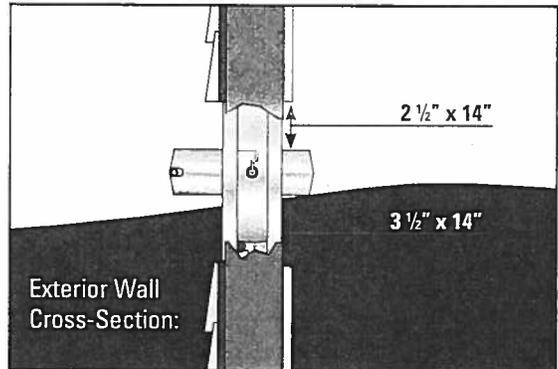
Dealer Locator, Installer Locator, Cad Drawings, Installation Instructions, Technical Specifications, Frequently Asked Questions, Video, Testimonials, Resource Library Database, Insurance Forms.



Rapidly rising floodwater can put extreme pressure on the foundation walls causing improperly vented structures to buckle and collapse. SMART VENTS® quickly and efficiently equalize the pressure and minimize damage.

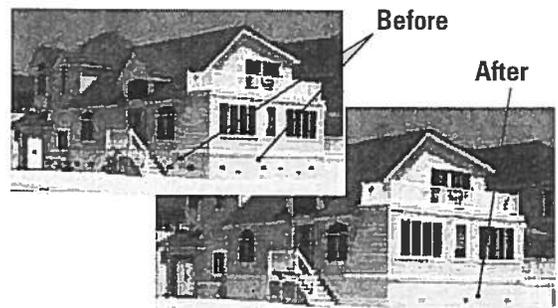
### How it works:

**Flood Protection:** The FLOOD VENT door is latched closed until flood water enters. Entering flood water lifts the patented internal floats which unlatches and rotates the door open. This allows the flood water to automatically enter and exit through the frame opening, relieving the pressure from your foundation.



### Use Fewer Vents

Preserve the aesthetic beauty of a home by requiring 2/3 fewer vents. Each SMART VENT® protects 200 sq/ft of enclosed area vs. 60 sq/ft for non-compliant vents.



### How does one SMART VENT® provide so much coverage?

You may have heard that FEMA requires that flood openings provide one square inch of opening per one square foot of enclosed area, referring to dimensions of the opening in proportion to the space to be vented. This is only partially correct. FEMA's regulations and guidelines do state that a non-engineered flood vent solution must (among other requirements) provide one square inch of opening per square foot of enclosed area to be vented. However, all SMART VENT® products are certified engineered openings. They have been designed, engineered, tested, rated, and certified to provide flood relief so efficiently that only one unit is needed for 200 square feet of enclosed area. It would be our pleasure to contact your code official, surveyor, or insurance agent if they require more information.